

CITY OF AVON
140 STRATFORD ST E
P O BOX 69
AVON MN 56310

320-356-7922
320-356-2259 FAX

NO PERMIT (BUILDING OR ZONING) WILL BE ISSUED THE SAME DAY. PROCESSING OF AN APPLICATION COULD TAKE UP TO 10 DAYS.

OFFICE HOURS FOR AMY PEASE
ZONING/BUILDING PERMITS
MONDAY-THURSDAY 7:30A-3:30P
AMY.P@CITYOFAVONMN.COM

Michael Friedrichs
Certified Bldg Official
MN License# BO 786949

15120 Chippendale Avenue, Suite 202
Rosemount, MN 55068
Toll Free 1-800-322-6153

E-mail: mfriedrichs@inspectroninc.com
Phone: (320) 377-9029
Fax: (651) 322-7580



Inspectron, Inc
Code Compliance Inspection
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- Sewer
- Temporary Survey Markings
- Proposed Excavation

Gopher State One Call



www.gopherstateonecall.org

FOR	Permit # _____	Trunk Fee _____
OFFICE	PID # _____	Permit Fee _____
USE	Date Recd _____	WAC/SAC _____
ONLY	Zoning District _____	Surcharge _____
Escrow deposit _____	(pay separate)	Plan Check _____
SW/WA Connection fee _____		1" Meter _____
		Total Fee _____

City of Avon
 PO Box 69 Avon MN 56310
 PH (320) 356-7922 FAX (320) 356-2259

New Dwelling Permit Application

1. Site Address _____, Avon MN 56310
2. Owner(s) _____ Daytime Phone _____
3. Owner's Address (if different from above) _____
4. Legal Description of Site:
 Note*If unknown, please refer to property tax statement or ask Zoning Administrator
 Lot _____ Block _____ Addition _____
5. Type of Construction: (circle one)
 Build Prefabricated Modular Foundation Only
6. Type of Home: Walk-out Split entry walk-out Look-out Patio Twin-patio Rambler
 other _____ Approved by City: _____ Approved by Inspector: _____
7. Describe in detail work to be done _____
8. Building Covering Material(s), (If applicable) _____
9. Approximate Start Date _____
10. Estimated Cost of Project (Including Materials & Labor): \$ _____
11. Licensed Contractor's Name & License No. License No: _____
 Name: _____ Phone: _____

**If owner is acting as their own General Contractor they must sign the Licensed Contractor Disclaimer.

Is there a well or abandoned well on this property: Y/N

12. Dimensions of Uses in Sq. Ft.:

Dwelling (1st Story) _____ Basement _____ Finished: _____ (yes or no)

Dwelling (Additional Stories) _____ Garage _____

13. Please Provide the Following: (If Applicable)

Plumbing Contractor _____ PH: _____

Mason & Concrete Contractor _____ PH: _____

Heating & Venting Contractor _____ PH: _____

14. Air Exchanger? Yes _____ No _____ (If No, provide ventilation calculations)

15. All Setback Measurements must be measured from building line (lot line). **Please provide the Zoning Administrator with a copy of a survey or documentation that states the square footage or lot dimensions.**

Front Yard Setback _____ Rear Yard Setback _____ Side Yard Setbacks _____ / _____

Total Lot Size (square footage) _____ Total Impervious Area (%) _____
Impervious area includes: driveways, sidewalks, porches overhangs, dog kennels, patios, sheds, decks (any area that water cannot saturate through)

Required Forms & Items to Return with Application:

SITE PLAN

FULL SIZE SET OF CONSTRUCTION PLANS WITH CROSS SECTIONS

ONE SMALL SET OF CONSTRUCTION PLANS ON 8 ½ X 11 FOR FILE

ENERGY CALCULATIONS

SIGNED PROPERTY OWNER DISCLAIMER

SIGNED WAIVER

Your application will be denied until all above items are provided.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of Laws and Ordinances governing this type of work will be complied with whether specified herein or not. I have identified all property boundaries, easements, flood zones, and/or wetlands existing on the property on my site plan and application. The undersigned further agrees the City and its' administrative staff relied on the accurateness of this application, plans and specifications relative to this project and holds the City of Avon, and its employees harmless from all liability arising from the granting of this permit.

Authorized Signature of Owner or Contractor

This Permit Expires One Year From

Zoning Administrator

Building Official

OFFICE HOURS FOR AMY PEASE
 ZONING/BUILDING PERMITS
 MONDAY-THURSDAY 7:30A-3:30P

APPLICATION FOR PLUMBING PERMIT
 CITY OF AVON
 140 Stratford St. E, P.O. Box 69
 Avon, MN 56310
 Phone: (320) 356-7922 Fax: (320) 356-2259

FOR OFFICE USE ONLY		
Date: _____	Building Permit No: _____	Plumbing Permit No. _____
PID No: _____	Lot No: _____	Block No: _____
Addition: _____		

Address of Property: _____

Applicant: _____ Phone: _____

Owner of Property: _____ Phone: _____

Address: _____

Name of Plumber who will be responsible for plumbing installation: _____

Company Name: _____ License No. (if applicable) _____

Building Type: Commercial _____ Industrial _____ Residential _____
 Has a submittal to the State Plumbing Code Division been completed yes _____ no _____ (required by MHD 4715.3130)

Water Meter Size (i.e. 3/4" or 1")\$ _____

No.	No.
Water Closet (toilet)	Drinking Fountain
Bathtub	Floor Sink or Drain
Lavatory (wash basin)	Roof Drain
Shower	Lawn Irrigation
Kitchen Sink & Disposal	Janitor Sink
Dishwasher	Water Conditioner
Laundry Sink	Rough-in Future Fixtures
Clothes washer	Sewer & Water
Water Heater	

Permit Fee \$ _____

Surcharge \$ _____

PLUMBING VALUATION \$ _____

TOTAL PLUMBING PERMIT FEES.....\$ _____

Signature of Applicant _____ Date _____

FOR INSPECTIONS CALL 320-377-9029 A DAY IN ADVANCE

This is an application only. Permit will be issued after City approval and payment of fees.
 Call GOPHER STATE ONE-CALL at 1-800-252-1166 at least 48 hours before excavation.

Authorized Approval Signature _____ Date _____

OFFICE HOURS FOR AMY PEASE
ZONING/BUILDING PERMITS
MONDAY-THURSDAY 7:30A-3:30P

APPLICATION FOR MECHANICAL PERMIT
CITY OF AVON
140 Stratford St. E., P.O. Box 69
Avon, MN 56310
Phone: (320) 356-7922 Fax: (320) 356-2259

OFFICE USE ONLY		
Date: _____	Building Permit No _____	Mechanical Permit No _____
PID No: _____	Lot No: _____	Block No: _____
Addition: _____		

Address of Property: _____

Applicant: _____ Phone: _____

Owner of Property: _____ Phone: _____

Address: _____

Mechanical contractor responsible for installing system: _____
Property Use: Commercial _____ Residential _____

No.	Type of Fixture or Item	No.	Type of Fixture or Item
	Air Conditioning		Ventilation
	Boiler		Gas Log
	Ductwork		Water Heater
	Factory Fireplace		Space/Unit Heater
	Furnace		(Other)
	Piping-Fuel		
	Rooftop Unit		

Mechanical Valuation \$ _____

Permit Fee \$ _____

Surcharge \$ _____

TOTAL MECHANICAL PERMIT FEES..... \$ _____

Furnace Efficiency Rating: _____ BTU Input: _____

Signature of Applicant: _____ Date: _____

IMPORTANT:
PLEASE CALL MICHAEL @ 320-377-9029 ASAP (BEFORE PERMIT IS ISSUED)
This is an application only. Permit will be issued after City approval and payment of fees.

Authorized Approval Signature: _____ Date: _____

PROPERTY DISCLAIMER

The undersigned is the owner of record or the Builder of the following property located within the City of Avon, Stearns County, Minnesota, whose address is: _____; that as part of the process of obtaining a building/zoning permit, the undersigned certifies that all of the information in the application, plans and specifications are true and correct.

It is the responsibility of the undersigned to identify all property boundaries, all easements, all underground utilities (including sewer and water lines) and/or wetlands existing on the subject property and has identified them on his/her site plan and application.

The undersigned further agrees the City of Avon, and its' administrative staff and agents relied on the accurateness of this application, plans and specifications relative to this project and hold the City of Avon, and its employees harmless from all liability arising from the granting of this permit.

Signature of Property Owner/Builder

Date

BUILDING PERMIT APPLICANT: PROPERTY OWNER

I understand that the State of Minnesota requires that all residential building contractors, remodelers and roofers obtain a state license unless they qualify for a specific exemption from the licensing requirements. By signing this document, I attest to the fact that I am building or improving this house myself. I hereby claim to be exempt from the state licensing requirements because I am not in the business of building on speculation or for resale and that the house for which I am applying for this permit, located at _____, is the first residential structure I have built or improved in the past 24 months. I also acknowledge that because I do not have a state license, I forfeit any mechanic's lien rights to which I may otherwise have been entitled under Minnesota Statutes§514.01.

Furthermore, I acknowledge that I may be hiring independent contractors to perform certain aspects of the construction or improvement of this house and I understand that some of these contractors may be required to be licensed by the State of Minnesota. I understand that unlicensed residential contracting, remodeling, and/or roofing activity is a misdemeanor under Minnesota Statutes §326.92, Subd. 1, and that I would forfeit my rights to reimbursement from the Contractor's Recovery Fund in the event that any contractors I hire are unlicensed.

I also acknowledge that as the contractor on this project, I am solely and personally responsible for any violations of the State Building Code and/or City ordinance in connection with the work performed on this property.

Signature of Property Owner

Date

To determine whether a particular contractor is required to be licensed, or to check on the licensing status of individual contractors, please call the Minnesota Department of Commerce, Enforcement Division, at (612) 296-2594 or toll free at 1-800-657-3602.



Landscape/off premise damage escrow of \$5,000 to be held by the City until all waivers are signed off and approved by the City. I understand this \$5,000 escrow deposit will be used if the City needs to make any repairs or do any landscaping work on said property OR any adjacent properties affected by this construction. If the amount of repairs exceeds the escrow deposit the charges will immediately be billed to me and/or assessed to my property.

RE: _____
Property Address Date of Certificate of Occupancy

*******STREET/SIDEWALK/CURB WAIVER*******

I, _____ (owner, contractor) the undersigned, hereby certify that I have inspected the street/sidewalk/curb in the area of my property and I agree that it is in new condition prior to any construction being done on my property. I also hereby certify that I am aware that if the street/sidewalk/curb in front of my property or the sidewalk of the adjacent properties located at _____ is damaged during the construction of my home, that I will be **fully responsible for any and all costs** that the City of Avon may incur to repair the street/sidewalk/curb and that these charges will be directly and immediately billed to me and/or assessed to my property.

I hereby state that prior to the commencement of construction at the property located at _____, I have inspected the street/sidewalk/curb in the general area of this property and it is in _____ condition (**attach photos** and further explanation)

Signature of Public Works Department Date

I hereby state that at the conclusion of construction at the property located at _____ I have inspected the street/sidewalk/curb in the general area of this property and it is in _____ condition (**attach photos** and further explanation).

Signature of Public Works Department Date

*******LANDSCAPING*******

I agree that either sod or grass seed will be in place within a year from the date of the Certificate of Occupancy on this property.

Signature of Owner/Contractor Date

INSPECTION-This property has been inspected (pictures attached) and has either sod or seed in place.

Public Works Department Date

*******ELEVATION WAIVER*******

I, _____ (contractor/owner) the undersigned, hereby certify that the elevation for the property at _____ (address) will be at _____ (elevation). The elevation will be measured from the floor level of the garage. This elevation is in full compliance with the City of Avon's plat. I understand that if the elevation does not comply with the City of Avon the property owner and/or contractor will be responsible to adjust the grading and drainage on the site and plat per the City Engineer's recommendations/specifications.

Signature of Contractor/Owner

Date

The above elevation level has been approved by the City of Avon.

Zoning Administrator

Date

*******GRADING CHANGES*******

No sod, soil, sand, or gravel may be sold or removed from any part of the property, except for the purpose of excavating for the construction or alteration of a building or structure on the property, or for the proper grading thereof, and any excess soil remaining from excavation or grading, and not otherwise used by the owner in the improvement of the owner's own site must be removed by the owner. The elevation of a lot may not be changed so as to materially effect the surface elevation of surrounding lots. The owner of any land subject to this ordinance will be responsible for the drainage of surface waters from their part of the property other than by natural watercourses.

I hereby certify that I have read and examined this application and understand that I will be solely responsible for any damage/drainage problems that arise from the alteration of the original grading on the property.

Signature of Contractor/Owner

Date

*******EROSION CONTROL*******

The following items, as part of the erosion control requirements of the building permit, must be addressed before and/or after construction. **PLEASE SUBMIT AN EROSION CONTROL PLAN/DRAWING**

I understand that a rock entrance to the property needs to be put down to eliminate dirt and mud from being tracked on to the city streets and also that no material of any kind will be allowed to be placed on any other lot. All black dirt, gravel, etc. needs to be disposed of properly. All sediment control around my property is my responsibility. This includes but is not limited to silt fence, fiber logs or rock logs. Inlet protection is required for the catch basins near the property and are the property owner's responsibility. The public works department will determine where sediment control will be required. It is the property owner's responsibility to place the sediment control where it is required and anywhere it may be needed.

- *Installation, proper placement and maintenance rock bag/straw log
- *Install and maintain rock entrance pad
- *Clean street and sweep daily
- *Install, maintain and clean storm sewer inlet protection structures
- *Dust control
- *Inlet protection

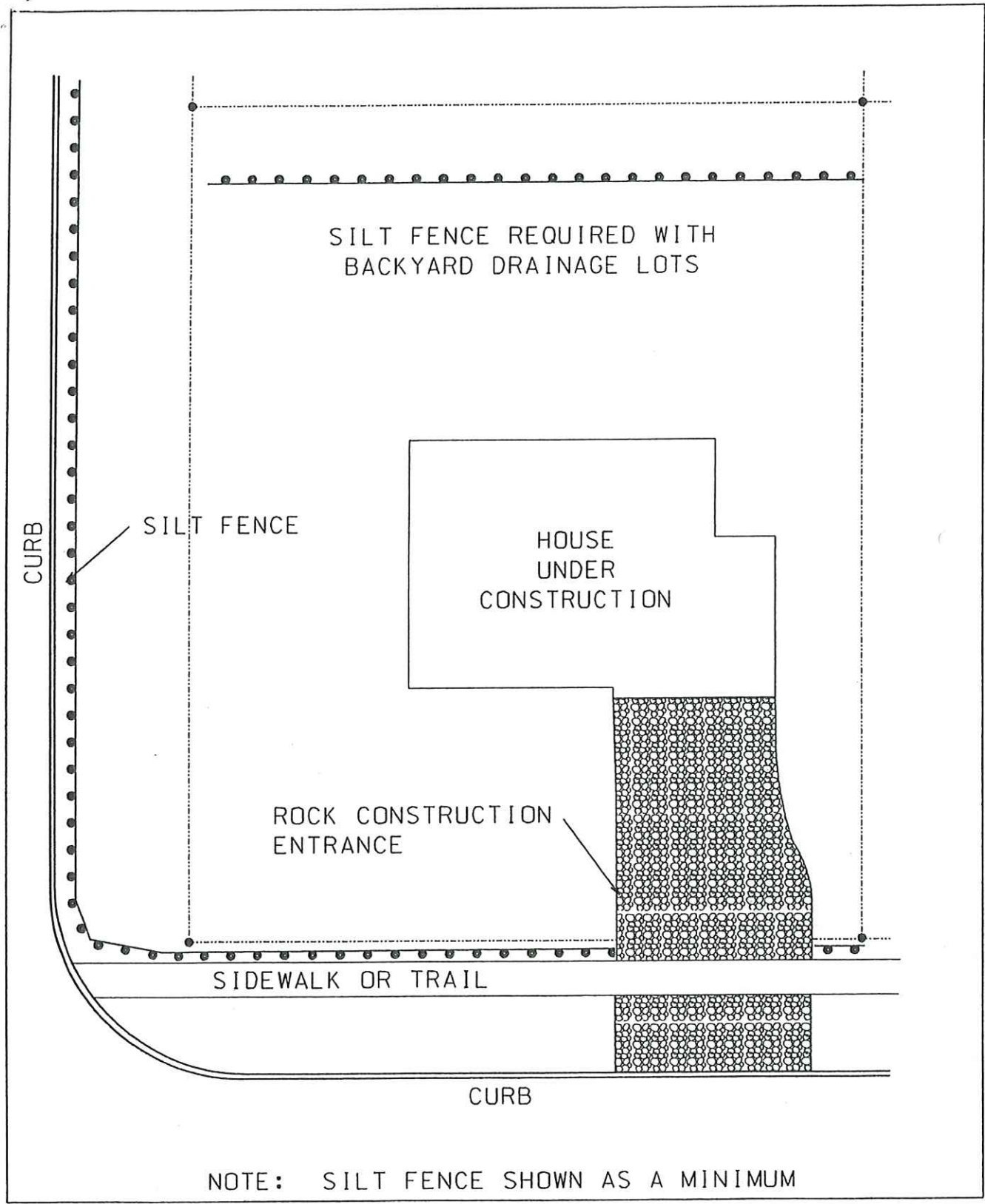
Signature of Owner or Contractor

Date

I hereby state that prior to the commencement of construction at the property located at _____, the necessary erosion control requirements have been met.

Signature of Public Works Department

Date



RESIDENTIAL CONSTRUCTION
EROSION CONTROL STANDARDS
AVON, MINNESOTA

SAMPLE



PO Box 69
Avon, MN 56310
office: 320.356.7922
fax: 320.356.2259

In order to obtain a building permit for any construction in residential (R-1) zoning in the City of Avon, you will need to comply with the City of Avon's Ordinance No. 148 regarding maximum Lot Coverage. Any property that is outside of the 1,000 square feet of lakeshore must follow the 50% maximum impervious surface coverage. Any property within 1,000 square feet of lakeshore must follow the 25% maximum impervious surface coverage. Please complete the form below:

- _____ Total Square Feet of Lot.
- _____ Total Square Feet of House (include any porches, overhangs, etc.)
- _____ Total Square Feet of Garage (include any overhangs).
- _____ Total Square Feet of Driveway and Sidewalks.
- _____ Total Square feet of Existing Dog Kennels, Patios, Shed, Decks (any area that water cannot saturate through).
- _____ Total Square Feet of FUTURE Dog Kennels, Patios, Sheds, Decks (any area that water cannot saturate through) that are not included on this building permit.

***Please make sure the site plan shows where the structures are situated on the lot and all four setbacks. Also, please provide dimensions for all structures.**

AGREEMENT

I, _____, the undersigned, accepts this agreement with the understanding that all information is true and correct. I do understand that I am responsible for submitting the correct information regarding dimensions and square footage to the City of Avon to request a building permit and I understand the maximum impervious surface coverage is 25% for shoreland and 50% for non-shoreland.

If any information is deemed incorrect, the Permit will be null/void and thus the project will be considered in violation of Ordinance and punishable as stated within the ordinance.

I HAVE CAREFULLY READ THIS AGREEMENT AND FULLY UNDERSTAND ITS CONTENTS. I SIGN IT OF MY OWN FREE WILL.

Date: _____
Property Owner



PO Box 69
Avon, MN 56310

office: 320.356.7922
fax: 320.356.2259

DRIVEWAYS/CURB CUT- ACCESS POINT ONTO CITY STREET

_____ property address

Does this permit application involve the placement of a driveway, access point onto a city street or a county road OR any curb cuts being done?

_____ Yes

_____ No

If you answered "Yes", please refer to Chapter 20, Subd. 9, Off Street Parking Provisions in the City of Avon Zoning Ordinance.

"All property shall be entitled to at least 1 curb cut/driveway access. Single family uses shall be limited to 1 driveway/curb cut access per property measuring no more than 30 ft. at the curb/street in non-shoreland areas and 24 ft. in width at the curb/street, except that single-family lots measuring 125 ft. or more of road frontage may be allowed two curb cuts/driveway accesses. The second access must be at least 30 ft. from the edge of the primary access. The second curb cut/driveway access will not result in conflicts with traffic flow or endanger public safety."

Curb cut/driveway access, parking areas shall not be located within any easement areas within the lot and must be a minimum of five (5) feet from the side lot lines. Except corner lots on which the side yard on the intersecting street shall not be less than fifteen (15) feet

PLEASE SHOW DRIVEWAY DESIGN IN THE RIGHT OF WAY AREA ON THE SITE PLAN

I understand that any street access work or curb cuts done on my property will require the approval of the City of Avon.

COMMERCIAL:

I understand that a stormwater plan is required on all commercial projects. All stormwater plans need to be approved by the City engineer. All fees that the city incurs associated with this stormwater plan, including engineering fees, will be reimbursed by contractor/property owner.

attach stormwater plan

_____ Contractor/Property Owner

_____ Date

Certificate of Compliance Minnesota Workers' Compensation Law

PRINT IN INK or TYPE.

Minnesota Statutes, Section 176.182 requires every state and local licensing agency to withhold the issuance or renewal of a license or permit to operate a business or engage in any activity in Minnesota until the applicant presents acceptable evidence of compliance with the workers' compensation insurance coverage requirement of Minnesota Statutes, Chapter 176. The required workers' compensation insurance information is the name of the insurance company, the policy number, and the dates of coverage, or the permit to self-insure. If the required information is not provided or is falsely stated, it shall result in a \$2,000 penalty assessed against the applicant by the commissioner of the Department of Labor and Industry.

A valid workers' compensation policy must be kept in effect at all times by employers as required by law.

BUSINESS NAME (Individual name only if no company name used)	LICENSE OR PERMIT NO (if applicable)
--	--------------------------------------

DBA (doing business as name) (if applicable)

BUSINESS ADDRESS (PO Box must include street address)	CITY	STATE	ZIP CODE
---	------	-------	----------

YOUR LICENSE OR CERTIFICATE WILL NOT BE ISSUED WITHOUT THE FOLLOWING INFORMATION. You must complete number 1, 2 or 3 below.

NUMBER 1 COMPLETE THIS PORTION IF YOU ARE INSURED:

INSURANCE COMPANY NAME (not the insurance agent) _____

WORKERS' COMPENSATION INSURANCE POLICY NO.	EFFECTIVE DATE	EXPIRATION DATE
--	----------------	-----------------

NUMBER 2 COMPLETE THIS PORTION IF SELF-INSURED:

I have attached a copy of the permit to self-insure.

NUMBER 3 COMPLETE THIS PORTION IF EXEMPT:

I am not required to have workers' compensation insurance coverage because:

- I have no employees.
- I have employees but they are not covered by the workers' compensation law. (See Minn. Stat. § 176.041 for a list of excluded employees.) Explain why your employees are not covered: _____
- Other: _____

ALL APPLICANTS COMPLETE THIS PORTION:

I certify that the information provided on this form is accurate and complete. If I am signing on behalf of a business, I certify that I am authorized to sign on behalf of the business.

APPLICANT SIGNATURE (mandatory)	TITLE	DATE
---------------------------------	-------	------

NOTE: If your Workers' Compensation policy is cancelled within the license or permit period, you must notify the agency who issued the license or permit by resubmitting this form.
This material can be made available in different forms, such as large print, Braille or on a tape. To request, call 1-800-342-5354 (DIAL-DLI) Voice or TDD (651) 297-4198.

Excerpts from Minnesota State Law Chapter 216D. Sections 216D.03 - 216D.07

216D.03 NOTIFICATION CENTER

Subdivision 1 - Participation.

An operator shall participate in and share in the costs of one statewide notification center operated by a vendor selected under subdivision 2.

Subdivision 2 - Establishment Of Notification Center; Rules.

- (a) The notification center services must be provided by a nonprofit corporation approved in writing by the commissioner. The nonprofit corporation must be governed by a board of directors of up to 20 members, one of whom is the director of the Office of Pipeline Safety. The other board members must represent and be elected by operators, excavators, and other persons eligible to participate in the center. In deciding to approve a nonprofit corporation, the commissioner shall consider whether it meets the requirements of this paragraph and whether it demonstrates that it has the ability to contract for and implement the notification center service.
- (b) The commissioner shall adopt rules:
 - (1) establishing a notification process and competitive bidding procedure for selecting a vendor to provide the notification service;
 - (2) governing the operating procedures and technology needed for a statewide notification center; and
 - (3) setting forth the method for assessing the cost of the service among operators.
- (c) The commissioner shall select a vendor to provide the notification center service. The commissioner may advertise for bids as provided in section 16C.06, subdivisions 1 and 2, and base the selection of a vendor on best value as provided in section 16C.06, subdivision 6. The commissioner shall select and contract with the vendor to provide the notification center service, but all costs of the center must be paid by the operators. The commissioner may at any time appoint a task force to advise on the renewal of the contract or any other matter involving the center's operations.
- (d) An operator may submit a bid and be selected to contract to provide the notification center service under paragraph (a) or (c). The commissioner shall annually review the services provided by the nonprofit corporation approved under paragraph (a) or the vendor selected under paragraph (c).

Subdivision 3 - Cooperation With Local Government.

In establishing operating procedures and technology for the statewide notification center, the board of directors or the commissioner must work in cooperation with the League of Minnesota Cities, the Association of Minnesota Counties, and the Township Officers' Association. The purpose of this cooperation is to maximize the participation of local governmental units that issue permits for activities involving excavation to assure that excavators receive notice of and comply with the requirements of sections 216D.01 to 216D.07.

Subdivision 4 - Notice To Local Government.

The notification center shall provide local governmental units with a master list, by county, of the operators in the county who are participants in the notification center, and the telephone number and mailing address of the notification center.

216D.04 - EXCAVATION; LAND SURVEY.

Subdivision 1 - Notice Required; Contents.

- (a) Except in an emergency, an excavator shall and a land surveyor may contact the notification center and provide notice at least 48 hours, excluding Saturdays, Sundays, and holidays and not more than 14 calendar days before beginning any excavation or boundary survey. An excavation or

boundary survey begins, for purposes of this requirement, the first time excavation or a boundary survey occurs in an area that was not previously identified by the excavator or land surveyor in the notice.

- (b) The notice may be oral or written, and must contain the following information:
- (1) the name of the individual providing the notice;
 - (2) the precise location of the proposed area of excavation or survey;
 - (3) the name, address, and telephone number of the individual or individual's company;
 - (4) the field telephone number, if one is available;
 - (5) the type and extent of the activity;
 - (6) whether or not the discharge of explosives is anticipated
 - (7) the date and time when the excavation or survey is to commence; and
 - (8) the estimated duration of the activity.

Subdivision 1A - Plans For Excavation.

- (a) Any person, prior to soliciting bids or entering into a contract for excavation, shall provide a proposed notice to the notification center to obtain from the affected operators of underground facilities the type, size, and general location of underground facilities. Affected operators shall provide the information within 15 working days. An operator who provides information to a person who is not a unit of government may indicate any portions of the information which are proprietary and may require the person to provide appropriate confidentiality protection. The information obtained from affected operators must be submitted on the final drawing used for the bid or contract and must depict the utility quality level of that information. This information must be updated not more than 90 days before completion of the final drawing used for the bid or contract.
- (b) This subdivision does not apply to bids and contracts for:
- (1) routine maintenance of underground facilities or installation, maintenance, or repair of service lines;
 - (2) excavation for operators of underground facilities performed on a unit of work or similar basis; or
 - (3) excavation for home construction and projects by home owners.
- (c) A person required by this section to show existing underground facilities on its drawings shall conduct one or more preliminary design meetings during the design phase to communicate the project design and coordinate utility relocation. Affected facility operators shall attend these meetings or make other arrangements to provide information.
- (d) A person required by this section to show existing underground facilities on its drawings shall conduct one or more preconstruction meetings to communicate the project design and coordinate utility relocation. Affected facility operators and contractors shall attend these meetings or make other arrangements to provide information.
- (e) This subdivision does not affect the obligation to provide a notice of excavation as required under subdivision 1.

Subdivision 2 - Duties Of Notification Center; Regarding Notice.

The notification center shall assign an inquiry identification number to each notice and retain a record of all notices received for at least six years. The center shall immediately transmit the information contained in a notice to every operator that has an underground facility in the area of the proposed excavation or boundary survey.

Subdivision 3 - Locating Underground Facility; Operator.

- (a) Prior to the excavation start time on the notice, an operator shall locate and mark or otherwise provide the approximate horizontal location of the underground facilities of the operator and provide readily available information regarding the operator's abandoned and out-of-service underground facilities as shown on maps, drawings, diagrams, or other records used in the operator's normal course of business, without cost to the excavator. The excavator shall

determine the precise location of the underground facility, without damage, before excavating within two feet of the marked location of the underground facility.

- (b) Within 96 hours or the time specified in the notice, whichever is later, after receiving a notice for boundary survey from the notification center, excluding Saturdays, Sundays, and holidays, unless otherwise agreed to between the land surveyor and operator, an operator shall locate and mark or otherwise provide the approximate horizontal location of the underground facilities of the operator, without cost to the land surveyor.
- (c) For the purpose of this section, the approximate horizontal location of the underground facilities is a strip of land two feet on either side of the underground facilities.
- (d) Markers used to designate the approximate location of underground facilities must follow the current color code standard used by the American Public Works Association.
- (e) If the operator cannot complete marking of the excavation or boundary survey area before the excavation or boundary survey start time stated in the notice, the operator shall promptly contact the excavator or land surveyor.
- (f) After December 31, 1998, operators shall maintain maps, drawings, diagrams, or other records of any underground facility abandoned or out-of-service after December 31, 1998.
- (g) An operator or other person providing information pursuant to this subdivision is not responsible to any person, for any costs, claims, or damages for information provided in good faith regarding abandoned, out-of-service, or private or customer-owned underground facilities.

**Subdivision 4 - Locating Underground Facility;
Excavator Or Land Surveyor.**

- (a) The excavator or land surveyor shall determine the precise location of the underground facility, without damage, before excavating within two feet on either side of the marked location of the underground facility.
- (b) If the excavator or land surveyor cancels the excavation or boundary survey, the excavator or land surveyor shall cancel the notice through the notification center.
- (c) The notice is valid for 14 calendar days from the start time stated on the notice. If the activity will continue after the expiration time, then the person responsible for the activity shall serve an additional notice at least 48 hours, excluding Saturdays, Sundays, and holidays, before the expiration time of the original notice, unless the excavator makes arrangements with the operators affected to periodically verify or refresh the marks, in which case the notice is valid for six months from the start time stated on the notice.
- (d) The excavator is responsible for reasonably protecting and preserving the marks until no longer required for proper and safe excavation near the underground facility. If the excavator has reason to believe the marks are obliterated, obscured, missing, or incorrect, the excavator shall notify the facility operator or notification center in order to have an operator verify or refresh the marks.

216D.05 PRECAUTIONS TO AVOID DAMAGE.

An excavator shall:

- (1) plan the excavation to avoid damage to and minimize interference with underground facilities in and near the construction area;
- (2) use white markings for proposed excavations except where it can be shown that it is not practical;
- (3) maintain a clearance between an underground facility and the cutting edge or point of any mechanized equipment, considering the known limit of control of the cutting edge or point to avoid damage to the facility;
- (4) provide support for underground facilities in and near the construction area, including during backfill operations, to protect the facilities; and
- (5) conduct the excavation in a careful and prudent manner.

216D.06 - DAMAGE TO FACILITY.

Subdivision 1 - Notice; Repair

- (a) If any damage occurs to an underground facility or its protective covering, the excavator shall notify the operator promptly. When the operator receives a damage notice, the operator shall promptly dispatch personnel to the damage area to investigate. If the damage results in the escape of any flammable, toxic, or corrosive gas or liquid or endangers life, health, or property, the excavator responsible shall immediately notify the operator and the 911 public safety answering point, as defined in section 403.02, subdivision 19, and take immediate action to protect the public and property. The excavator shall also attempt to minimize the hazard until arrival of the operator's personnel or until emergency responders have arrived and completed their assessment. The 911 public safety answering point shall maintain a response plan for notifications generated by this section.
- (b) An excavator shall delay backfilling in the immediate area of the damaged underground facilities until the damage has been investigated by the operator, unless the operator authorizes otherwise. The repair of damage must be performed by the operator or by qualified personnel authorized by the operator.
- (c) An excavator who knowingly damages an underground facility, and who does not notify the operator as soon as reasonably possible or who backfills in violation of paragraph (b), is guilty of a misdemeanor.

Subdivision 2 - Cost Reimbursement.

- (a) If an excavator damages an underground facility, the excavator shall reimburse the operator for the cost of necessary repairs, and for a pipeline the cost of the product that was being carried in the pipeline and was lost as a direct result of the damage.
- (b) Reimbursement is not required if the damage to the underground facility was caused by the sole negligence of the operator or the operator failed to comply with section 216D.04, subdivision 3.

Subdivision 3 - Prima Facie Evidence Of Negligence.

It is prima facie evidence of the excavator's negligence in a civil court action if damage to the underground facilities of an operator resulted from excavation, and the excavator failed to give an excavation notice under section 216D.04 or provide support as required by section 216D.05.

216D.07 EFFECT ON LOCAL ORDINANCES.

- (a) Sections 216D.01 to 216D.07 do not affect or impair local ordinances, charters, or other provisions of law requiring permits to be obtained before excavating.
- (b) A person with a permit for excavation from the state or a public agency is subject to sections 216D.01 to 216D.07. The state or public agency that issued a permit for excavation is not liable for the actions of an excavator who fails to comply with sections 216D.01 to 216D.07.



PO Box 69
Avon, MN 56310
office: 320.356.7922
fax: 320.356.2259

WATER & SEWER APPLICATION FOR SERVICE

NOTE: Utility bills are in the **PROPERTY OWNER'S** name. If you are **NOT** the property owner, please forward this form to them. Thank you.

Date information received: _____ Staff _____

Date to begin service: _____

Name(s) of PROPERTY OWNER: _____

Date of Birth: ____ / ____ / ____ ____ / ____ / ____

Location Street Address: _____

Mailing Address (if different): _____

Phone Number(s): (h) _____ (w) _____ (c) _____

Name(s) of RENTERS if applicable: _____

Date of Birth: ____ / ____ / ____ ____ / ____ / ____

Phone Number(s): (h) _____ (w) _____ (c) _____

GENERAL INFORMATION

A final date must be provided PRIOR to moving out so that the City can order the meter read. The property owner will be responsible until a final read is taken.

Bills are sent out every other month. If payment is not received by the due date (23rd of the month), a 10% penalty will be charged to the account. The City of Avon will give notice to discontinue water service to accounts remaining 60 or more days delinquent.

An amount due for water and sewer charges may be certified to the county auditor for collection with real estate taxes in accordance with MN Statutes 444.075.

Signature (property owner)

Signature (renter)



Water/Sewer Information

Per policy sewer charges are billed using the actual water usage.

If you plan to water your lawn, fill pools, or use excessive water for anything, it is highly recommended that you install a second water meter. With this option, customers are billed for all the water used, but only sewer that goes through the sewer system. The cost of the second meter is \$550. This includes the meter and the City's labor. Homeowners are responsible for getting their own plumber to install the meter to their outside water hookup.

Another option for homeowners is to install a sand point.

Please feel free to call Melanie at (320) 356-7922/melanie.e@cityofavonmn.com with questions or to learn more about having a second meter installed.

_____ I have read and understand the above and wish to purchase a second meter at the cost of \$550.

_____ I have read and understand the above and am choosing to opt out of purchasing a second meter at this time.

Name

Address

Signature

Date

City of Avon- REQUIREMENTS FOR INSTALLATION OF SEWER & WATER FROM CURB STOP TO HOUSE

WATER:

1. Curb stops in the driveway are highly discouraged. If a curb stop must be placed in the driveway, contact the Public Works Department at [redacted] before starting- work.
2. The curb stop must have concrete block placed under it. -
3. Water line must be a minimum of one inch (1") Type K copper with 200 psi rating. Plastic water line must meet same requirements. Plastic line must be [1"] copper tubing size.
4. Water lines must be insulated if less than eight feet (8') deep with two inch (2") thick by four foot (4') wide high-density styrofoam; water lines less than six feet (6') deep must be insulated with three inch (3") thick by eight foot (8') wide density styrofoam.
5. Water lines placed under driveways must be insulated with two inch (2") thickness by four foot (4') wide high-density styrofoam.
6. The water valve inside the house must be a lockable meter valve.
7. No couplings allowed unless approved by the City of Avon including the area from the curb stop to the first valve in the structure.
8. Water line must be flushed after installation.
9. After inspection by the City, water must be shut off at the curb stop.
10. All curb boxes must have a rod installed.
11. Curb box top must be level with surface.
12. If water line is installed during the winter and can't be tested by turning on the water, air testing must be done at the time of the initial inspection; minimum (100) psi for minimum of 5 minutes.
13. Water line must have twelve [12] gauge copper wire for location purposes.

SEWER:

1. Sewer line must be schedule 40PVC (ASTMD1785) or SDR26 PVC ASTM SPEC D3034 and a minimum of four inch (4") in diameter.
2. Sewer must have a clean out within two feet (2') of the outside wall and every seventy-five feet (75') thereafter. At no time may the outside clean out be located under a structure/deck unless it is a minimum forty-eight inches (48") above grade.
3. A twelve (12) gauge copper wire must be run on top of the sewer and water lines for locating purposes.
4. Sewer line must have a minimum one-eighth inch (1/8") per foot slope.
5. Industrial buildings must have testing manhole on service line to building.
6. Sewer line must be pressure tested, 5 psi minimum.

GENERAL REQUIREMENTS:

1. Contractor shall obtain a sewer/water dig-in permit at the Public Works Department prior to starting work; the contractor will be notified of the permit fee.
2. Contractor shall provide the City of Avon with a general liability certificate of insurance in the amount of \$100,000.00 minimum.
3. Contractor must have work inspected by the Public Works Department. Curb stop/box must be inspected and approved by the Public Works Department prior to Building Final. Please schedule inspections through the Public Works Department by calling [redacted] or [redacted].
4. All trenches must meet OSHA standards.
5. The City shall charge the contractor for labor and material if improperly installed.
6. Anyone conducting plumbing activities must provide evidence of a \$25,000.00 code compliance bond. Must also provide evidence of having a pipe layer certification card or plumber's license.

SW/WA INSPECTIONS WILL ONLY BE DONE MONDAY THROUGH THURSDAY. FRIDAY INSPECTIONS WILL NEED TO BE APPROVED.



Justin Kurtz

Water/Waste Water Foreman

Avon Sewer and Water Connection Permit Application

Avon Public Works Department
140 Stratford St E, Avon, Minnesota, 56310
Office: 320-356-7922

Fax: 320-356-2259.

140 Stratford St E
PO Box 69
Avon, MN 56310

Justin.k@cityofavonmn.com
www.cityofavonmn.com
320-342-8101

The undersigned whose company name is listed below hereby applies for a permit to
INSTALL SEWER AND WATER LINES TO STRUCTURE upon that certain tract of land described as follows:

PROJECT ADDRESS:	LOT:	BLOCK:	PLAT OR ADDITION:
PROPERTY OWNER:			

CONTRACTOR INFORMATION

INSTALLER	ADDRESS
PHONE	CITY/STATE/ZIP
FAX	E-MAIL

The undersigned hereby agrees that, in case such permit is granted, all work which shall be done and all materials used shall comply with the plans and specifications therefore herewith submitted and with all the ordinances of said CITY OF Avon applicable thereto.

Certificate of Insurance (\$100,000.00 minimum) included yes no

Pipe Layer Certification or Plumber's License included yes no License # _____

Code Compliance Bond of \$25,000.00 included yes no

** Note: The Pipe Layer's Certificate satisfies the Bond requirement

The undersigned further agrees to pay fees or assessments at the time and in the amounts specified as follows:

INSTALLER'S SIGNATURE / DATE

CITY STAFF / DATE



PO Box 69
Avon, MN 56310
office: 320.356.7922
fax: 320.356.2259

EXCAVATION PERMIT

- 1. Permits will be issued only to contractors licensed in accordance with Sections 4.11 as amended or to the public utility corporations.
- 2. The Contractor shall contact the City no less than 24 hours in advance of commencing his operations. Failure to do so may result in the City requiring the trench to be re-opened. He shall also contact Gopher State One Call at 1-800-252-1166 in accordance with Minnesota Statutes.

3. PURPOSE OF EXCAVATION

Size & Type of Pipe or Cable

- Water
- Power Line or service
- Sanitary Sewer
- Telephone Line or service
- Gas Main or service
- Other (describe)

4. LOCATION OF EXCAVATION

a) Will street be disturbed?
 Yes No

b) If so, surface in place is: _____

c) Method of installation:
 Open Trench
 Jacking
 Boring
 Plowing

Street Name: _____
Address: _____
Owner: _____

It is expected that we will begin construction on: _____
And complete restoration on: _____

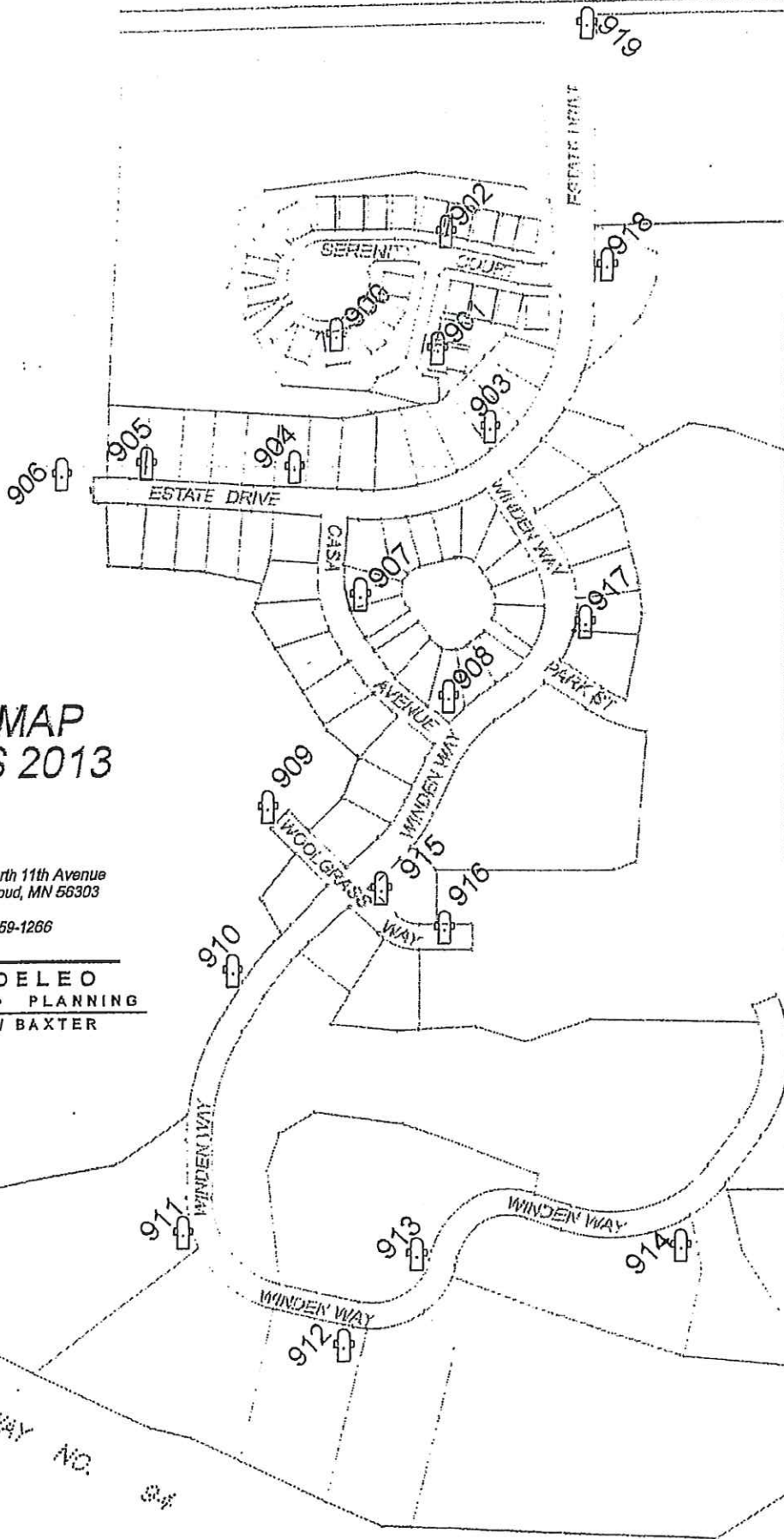
- 5. The Contractor hereby states that he/she is familiar with Appendix B of the MN Manual on Uniform Traffic Control Devices and that he will comply with its requirements. The Contractor shall erect signs for any detours necessary after receiving approval from Public Works Superintendent.
- 6. If approved, the Contractor shall carry this permit during his excavation work and present it immediately upon demand by any City employee.
- 7. Notice: Failure of the contractor to properly and completely repair disturbed property within 48 hours may result in withdrawal of the contractor's license.
- 8. The applicant hereby states that he is familiar with the provisions of Section 4.11 and complies with these provisions.

Applicant: _____ Date: _____

Approved by: _____ Date: _____
Public Works Supervisor/WWTP Supervisor

**BUILDING PERMIT APPLICATION
INFORMATION FOR THE AVON ESTATES
DEVELOPMENT**

COUNTY STATE AID HIGHWAY NO. 54



**BENCHMARK MAP
AVON ESTATES 2013**



13 North 11th Avenue
St. Cloud, MN 56303
320-259-1266

KRAMER LEAS DELEO
SURVEYING • ENGINEERING • PLANNING
ST. CLOUD BRAINERD / BAXTER

INTERSTATE
HIGHWAY NO. 94

AVON ESTATES BENCHMARKS 2013

Point Number	Elevation	Description (Top Nut of Fire Hydrant)
900	1151.21	At south side of Weise Court Culdesac
901	1150.88	At east side of street, 225' +/- south of Weise Court
902	1149.40	At north side of Weise Court 310' +/- west of Estate Drive
903	1156.89	At intersection of Estate Drive and Winden Way
904	1156.80	At north side of Estate Drive, 75' +/- west of Casa Avenue
905	1152.68	At north side of Estate Drive, 455' +/- west of Casa Avenue
906	1152.46	At dead end of Estate Drive
907	1168.14	At east side of Casa Avenue, 260' +/- south of Estate Drive
908	1171.36	At intersection of Casa Avenue and Winden Way
909	1158.73	At dead end of Woolgrass Way
910	1144.48	By lift station on west side of Winden Way
911	1147.67	At west side of Winden Way, 925' +/- south of Woolgrass Way
912	1151.48	At south side of Winden Way, 1330' +/- south of Woolgrass Way
913	1149.76	At west side of Winden Way, 1590' +/- south of Woolgrass Way
914	1146.88	At dead end of Winden Way
915	1156.67	At intersection of Woolgrass Way and Winden Way
916	1164.25	At north side of Woolgrass Way, 255' +/- east of Winden Way
917	1165.18	At east side of Winden Way, 85' +/- north of Park Street
918	1147.73	At intersection of Estate Drive and Weise Court
919	1149.46	At intersection of Estate Drive and C.S.A.H. 54

Notes:

All elevations are to the Top Nut of The Fire Hydrant at the specified location described

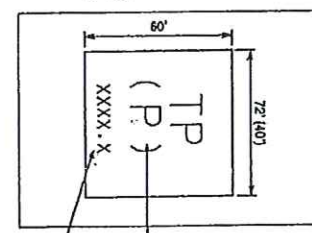
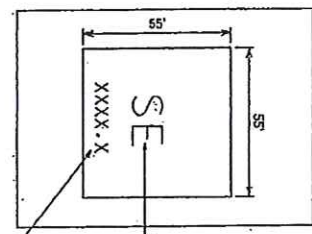
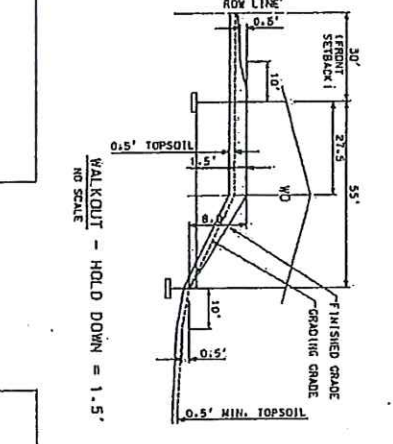
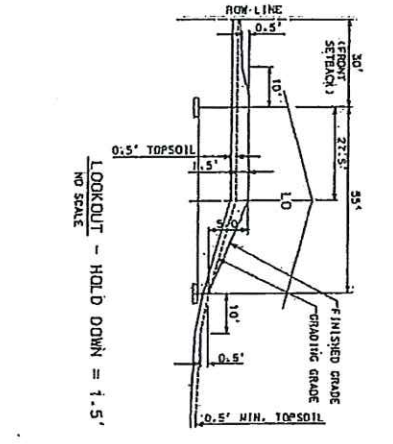
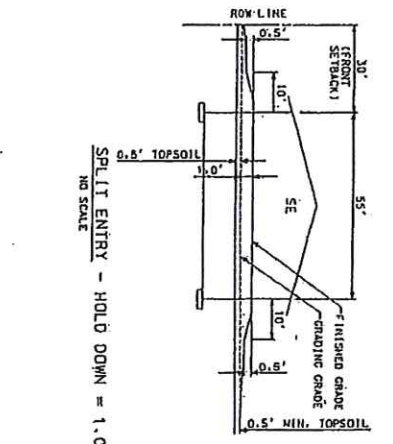
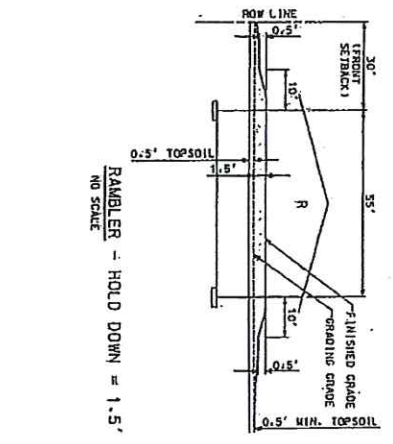
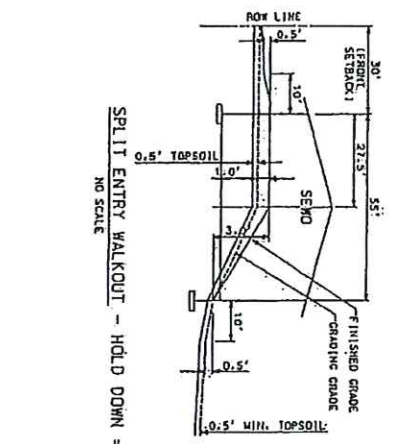
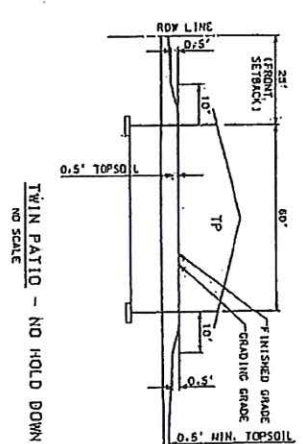
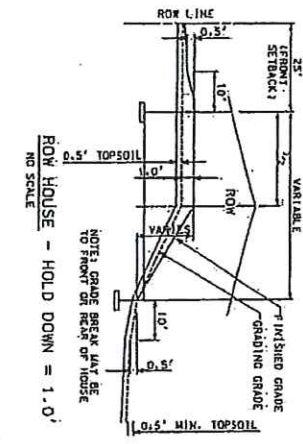
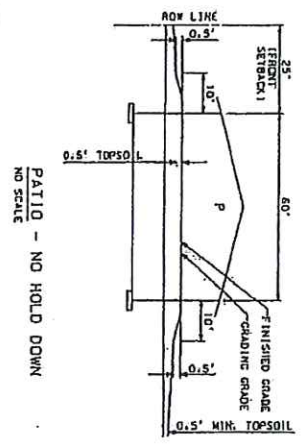
The elevations shown were derived using mutiple RTK-GPS observations.

The Benchmarks shown are based on Mn/Dot Control Station "Marge" having an elevation of 1140.155 Datum NAVD 88.

Lots in Avon Estates have individual elevation measurements. Please
make sure you have the correct elevation listed on the
elevation waiver form.

DATE:	11/22/08	REVISIONS:	
DESIGNED BY:	J.B. DUB	CHECKED BY:	J.B. DUB
DRAWN BY:	J.B. DUB	DATE:	
PROJECT:	2007 AVON ESTATES	DATE:	

PROJECT:	2007 AVON ESTATES
ADDRESS:	AVON, MINNESOTA
DATE:	11/22/08
FILE NO.:	AVON0723.DWG
SCALE:	AS SHOWN



NOTES:
 * BUILDER SHOULD VERIFY DIMENSIONS AND SETTING THE ELEVATION OF BASEMENT FLOORS.
 * BUILDER SHOULD VERIFY BUILDING CODE REQUIREMENTS WITH LOCAL BUILDING DEPARTMENT.

HOUSE TYPE:
 SE - SPLIT ENTRY
 SEWO - SPLIT ENTRY WALKOUT
 LO - FULL BASEMENT LOOKOUT
 NO - FULL BASEMENT WALKOUT
 ROW - ROW HOUSE
 RW - ROW WALKOUT
 (P) - PATIO (NO HOLD DOWN)
 TP - TWIN PATIO (NO HOLD DOWN)
 * GROUND ELEVATION ON HIGH SIDE OF LOT
 * BUILDING (FRONT)

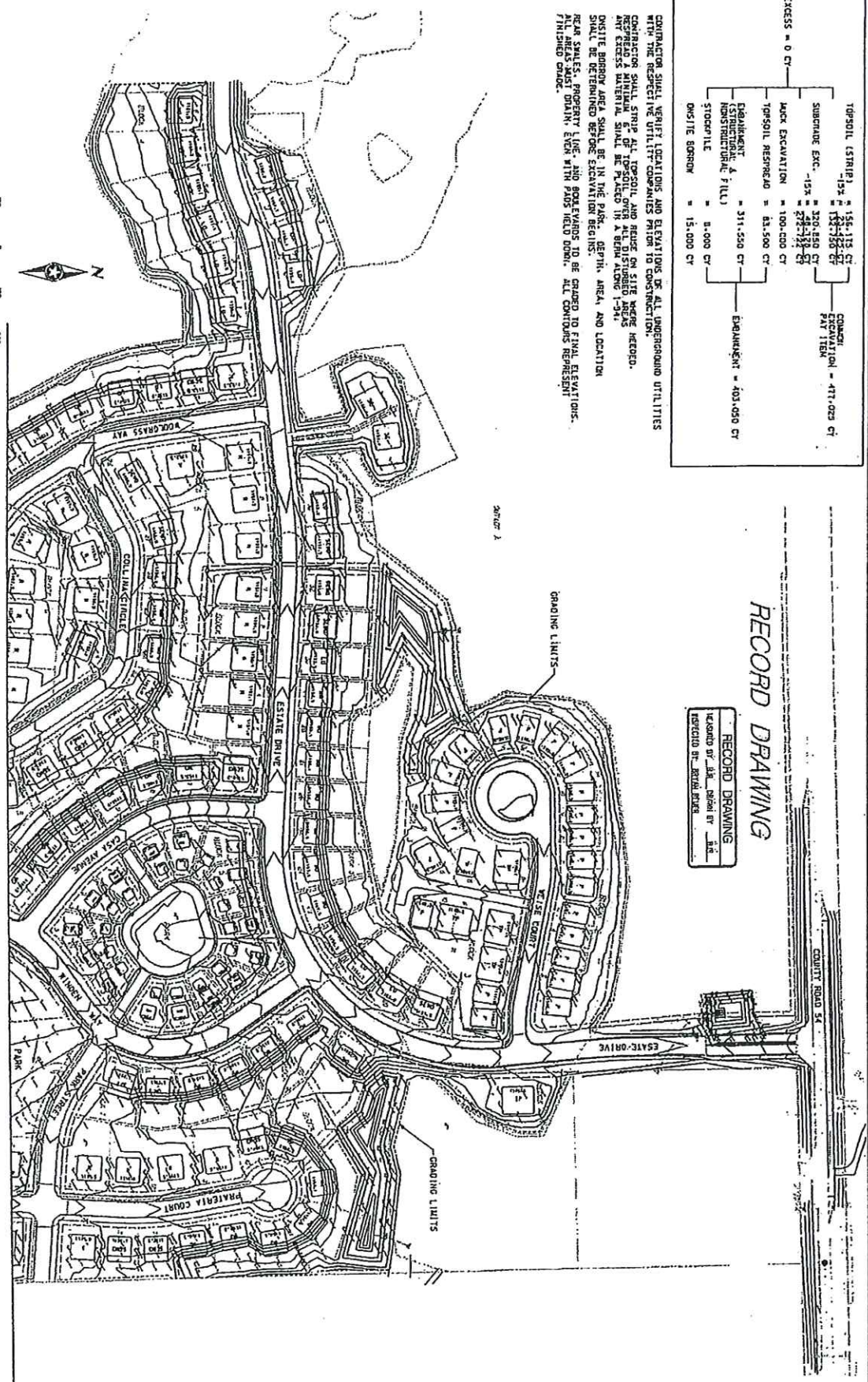
HOUSE TYPE:
 P - PATIO HOME
 TP - TWIN PATIO HOME
 CHANGE RECOMMENDED ON HIGH SIDE OF LOT
 * GROUND ELEVATION ON HIGH SIDE OF LOT
 * BUILDING (FRONT)

RECORD DRAWING

RECORD DRAWING
 DESIGNED BY: J.B. DUB
 CHECKED BY: J.B. DUB

TOPSOIL (STRIP)	= 156,115 CT	COMMON
SUBGRADE EXC. -15%	= 229,480 CT	EXCAVATION = 477,029 CT
TOPSOIL RESERVE	= 100,000 CT	FIN 1.00%
TOPSOIL RESERVE	= 83,500 CT	
EQUIPMENT & MATERIALS (FILL)	= 311,520 CT	EQUIPMENT = 403,000 CT
STOCKPILE	= 2,000 CT	
DMSITE BORROW	= 15,000 CT	

CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
 CONTRACTOR SHALL STRIP ALL TOPSOIL AND REUSE ON SITE WHERE KEPT.
 REVERSE A MINIMUM 5" OF TOPSOIL OVER ALL DISTURBED AREAS.
 ANY EXCESS MATERIAL SHALL BE PLACED IN A BERM ALONG 1'-2'4".
 DMSITE BORROW AREA SHALL BE IN THE PARK, DEPTH, AREA, AND LOCATION SHALL BE DETERMINED BEFORE EXCAVATION BEGINS.
 REAL SITES, PROPERTY LINE, AND BOUNDARIES TO BE GRADED TO FINAL ELEVATIONS.
 FINISHED ROAD DRAIN, EVEN WITH PAVES HELD DOWN. ALL CONDITIONS REPRESENT FINISHED GRADE.



RECORD DRAWING

RECORD DRAWING
 DRAWN BY: J.H. JOHNSON JR.
 CHECKED BY: J.H. JOHNSON JR.

NO.	DATE	DESCRIPTION
1.	04/27/07	REVISED QUANTITY AND NOTE
2.	04/27/07	REVISED QUANTITY
3.	04/27/07	REVISED QUANTITY
4.	04/27/07	REVISED QUANTITY
5.	04/27/07	REVISED QUANTITY

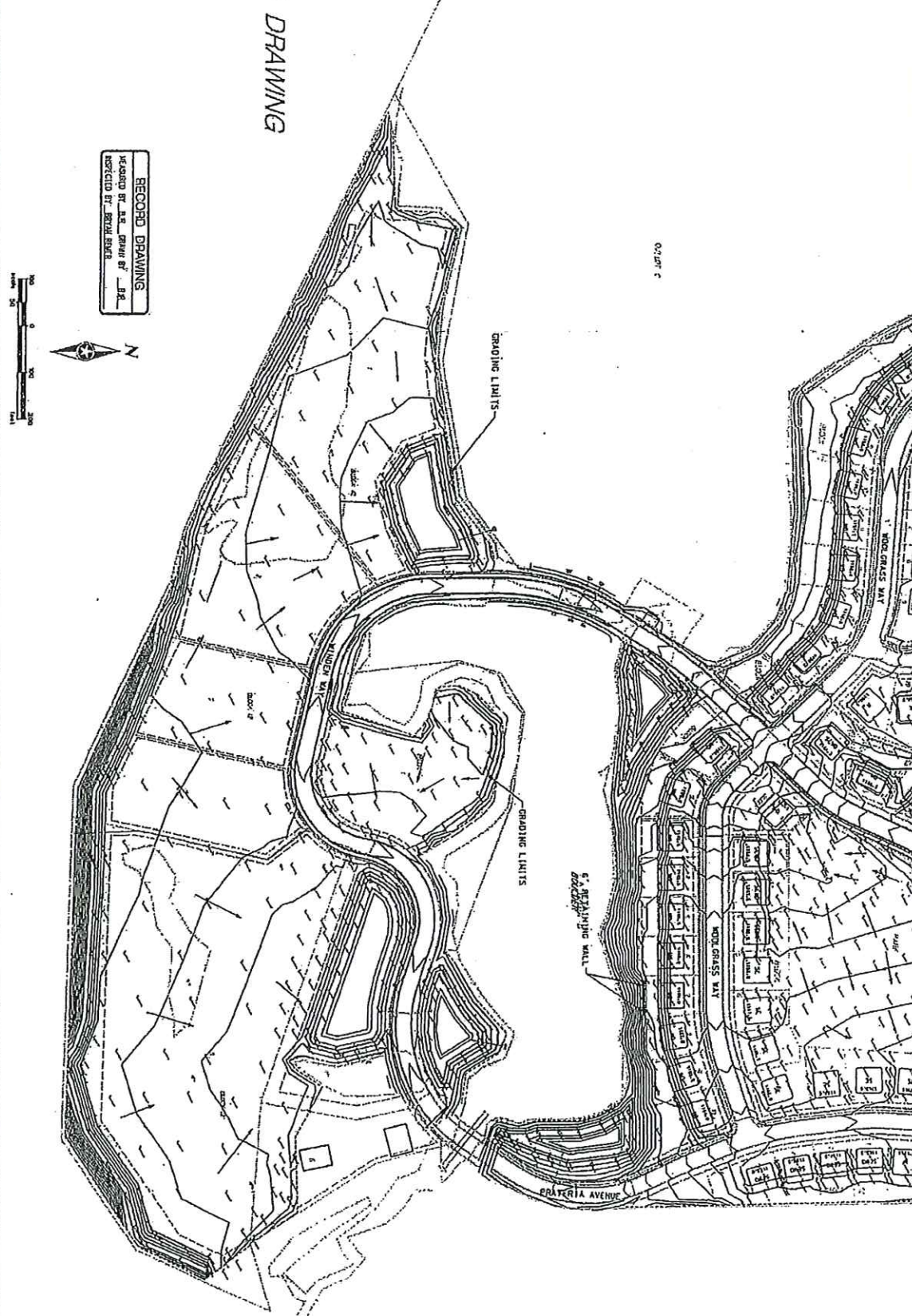
PROJECT: 2007 AVON ESTATES
 AVON, MINNESOTA
 DRAWN BY: J.H. JOHNSON JR.
 CHECKED BY: J.H. JOHNSON JR.
 DATE: 04/27/07

2007 AVON ESTATES
 AVON, MINNESOTA

SEE NEXT SHEET

GRADING PLAN

DATE:	12/18/07	REVISION:	NO. 1	DESCRIPTION:	REVISION 1
DESIGNED BY:	J.B. DUB	CHECKED BY:	J.B. DUB	DATE:	12/18/07
DRAWN BY:	M.S. S	DATE:	12/18/07		
SCALE:	AS SHOWN				
PROJECT:	2007 AVON ESTATES				
CLIENT:	AVON ESTATES				
FILE NO.:	AV070730				
DATE:	12/18/07				



RECORD DRAWING
 DESIGNED BY: J.B. DUB
 CHECKED BY: J.B. DUB

ENGINEER CERTIFICATE NO. 02107071
 JAMES HANCOCK B. JENSEN, P.E.
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MINNESOTA

SEH
 PHONES: 320-223-4300
 1700 26TH AVE S
 ST. LOUIS, MN 55102-1137

2007 AVON ESTATES
 AVON, MINNESOTA

GRADING PLAN

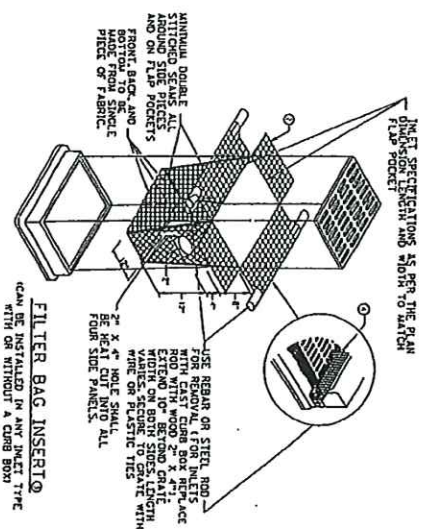
FILE NO.
 AV070730
 16
 151

GENERAL INLET PROTECTION NOTES:
 REFER TO MNDOT SPECS. 2573, 3733, 3886, & 3893
 MANUFACTURED ALTERNATIVES LISTED ON MNDOT'S
 APPROVED PRODUCTS LIST MAY BE SUBSTITUTED.

INLET PROTECTION IS A SECONDARY BMP. OTHER EROSION
 PREVENTION AND SEDIMENT CONTROL BMP'S MUST ALSO
 BE IN PLACE.

SAFETY IS A CONSIDERATION WHEN DETERMINING THE
 BEST METHOD TO PROTECT AN INLET AND DETERMINING
 THE HEIGHT OF OVERFLOW.

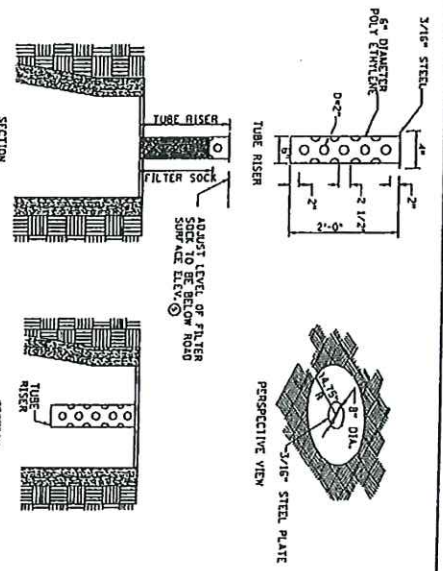
ALL GEOTEXTILE USED FOR INLET PROTECTION SHALL BE
 MONO/MONO. MEETING SPEC. 3886 FOR MACHINE SLICED.
 INLETS ARE CONSIDERED SURFACE WATERS AND NEED
 TEMPORARY STABILIZATION IF THE AREA AROUND THE
 INLET IS NOT BEING WORKED.



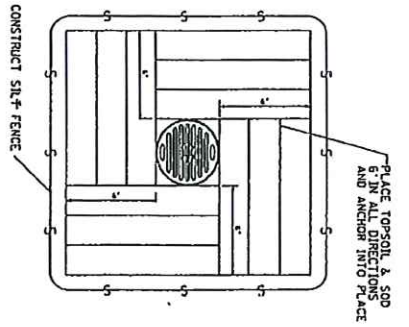
① FINISHED SITE, INCLUDING PROTECTS WHERE REQUIRED SHALL EXTEND A MINIMUM OF 10 INCHES AROUND PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② DO NOT INSTALL PROTECTION IN INLETS SMALLER THAN 30 IN. MEASURED FROM THE INSIDE OF THE CURB OR CURB AND GUTTER. THE PROTECTS SHALL BE MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES OF 3 INCHES. WHERE NECESSARY THE PROTECTORS SHALL CLIMB THE CURB USING PLASTIC ZIP TIES TO ACHIEVE THE 1 INCH CLEARANCE.

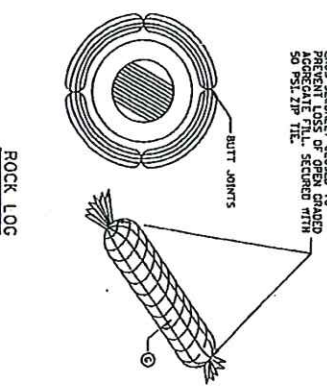
③ FLAP PROTECTS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2 IN. X 4 INCH OR USE A ROCK SOCK OR SAND BAGS IN PLACE OF THE ROCK SOCK AND SAND 2 IN. X 4 INCH.



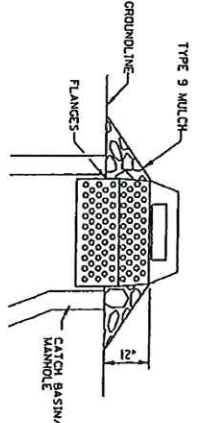
⑤ SORE HEIGHT MUST NOT BE 50 HIGH AS TO SLOW DOWN WATER FILTRATION AND FLOOD ROAD



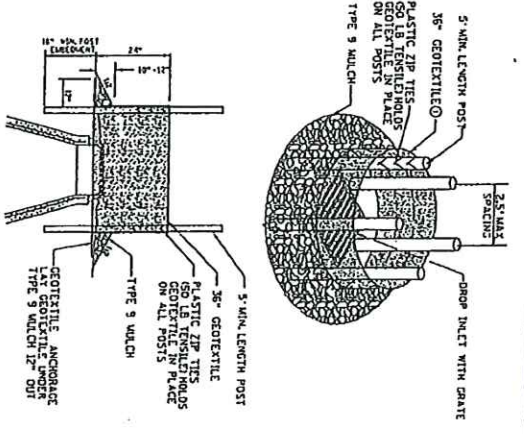
GRADED SURFACE INLET PROTECTION
 USE IN AREAS TO BE LANDSCAPED PRIOR TO TURF RESTORATION
 REAR YARDS, SWALES, GREEN SPACES, AND ETC.



③ GEOTEXTILE ROCK BATTERY 4.0 FT LONG AND 4.4 INCH DIAMETER OR HEAVY DOWNS FOR APPROVED EQUIVALENT. FILL ROCK LOG WITH OPEN GRADE AGGREGATE CONSISTING OF SAND DUSTABLE PARTICLES OF TABLE 317-11-CA-3 GRANULATION.



NOTE:
 THE SEDIMENT CONTROL BARRIER SHALL BE A METAL OR PLASTIC BARRIER. RISE SHALL BE 12\"/>



⑤ SILT FENCE RING AND ROCK FILTER BERM
 USE WHERE INLET DRAINS IN AN AREA WITH SLOPES AT 1:1 OR LESS

DATE:	REV. DATE:	NO. OF	DATE	REVISIONS
DESIGNED BY:	MLL/MLL			
CHECKED BY:	MLL/MLL			
PROJECT DATA: THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.				
DRAWN BY: [Signature]				
CHECKED BY: [Signature]				
SCALE: AS SHOWN				
SHEET NO. 22				
PROJECT NO. 40000701.00				
DATE: 151				

PHONE: 320-229-4300
 1300 5TH AVE S
 SEH
 ST. CLOUD, MN 56302-1111

2007 AVON ESTATES
 AVON, MINNESOTA

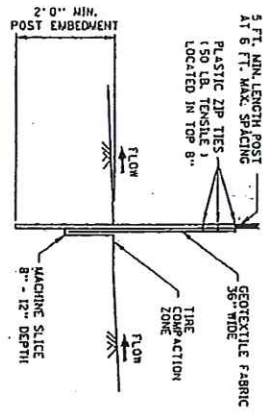
EROSION CONTROL DETAILS

GENERAL SILT FENCE NOTES:
REFER TO MNDOT SPECS. 2573 & 3086

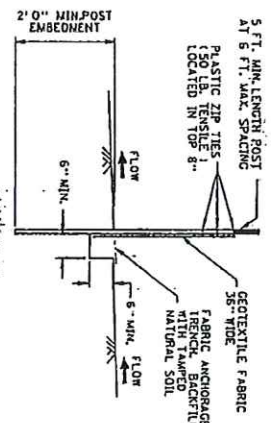
SILT FENCE SHALL BE INSTALLED ALONG THE
CONTOUR (ON A LEVEL HORIZONTAL PLANE)
CURVE THE END OF THE SILT FENCES UP-GRADE
SO THAT IT CONTAINS THE MUDDY WATER.
MAXIMUM CONTRIBUTING AREA SHALL BE ONE ACRE.

NO SINGLE FENCING UNIT SHOULD EXCEED 330 FEET.
FOLLOW SLOPE GRADE/LENGTH GUIDELINES:
SLOPE GRADE: 2 - 5% (75 FT), 5 - 10% (50 FT), 10 - 20% (25 FT), GREATER THAN 20% (15 FT)

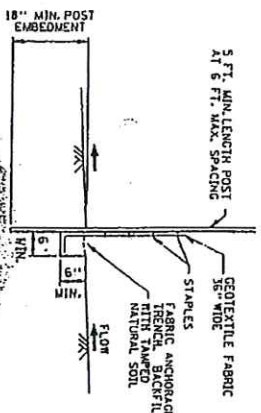
FOR CERTAIN APPLICATIONS PLASTIC WATER
BARRIER SHALL BE USED IN PLACE OF
CONCRETE BARRIER.



TYPE C1
SILT FENCE, MACHINE SLICED



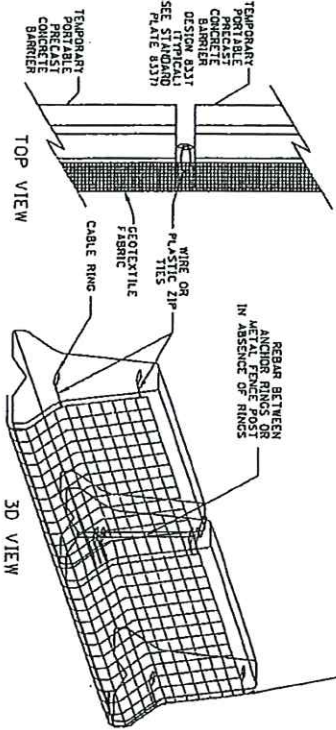
TYPE C2
SILT FENCE, HEAVY DUTY



TYPE C3
SILT FENCE, PREASSEMBLED

GEOTEXTILE FABRIC 3' WIDTH ATTACH TO BARRIER
CABLE RINGS IF PRESENT BY WIRE OR PLASTIC ZIP
TIES OR TO METAL FENCE POST PLASTIC ZIP TIES.

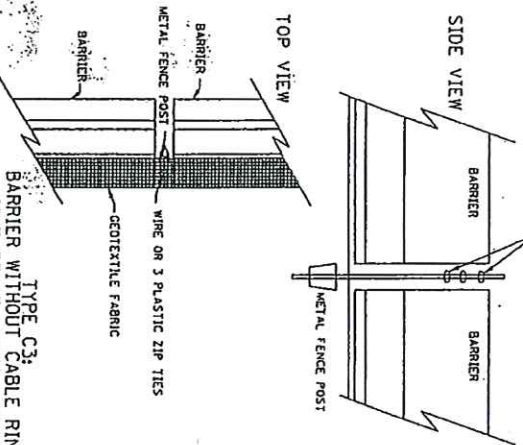
REBAR BETWEEN
METAL FENCE POSTS
IN ABSENCE OF RINGS



TYPE C3:
BARRIER WITH CABLE RINGS
SILT FENCE, SUPER DUTY

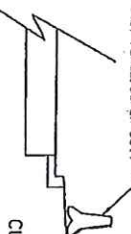
SIDE VIEW

WIRE OR TIRE
PLASTIC ZIP TIES



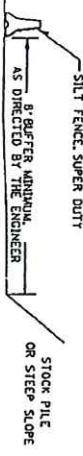
TYPE C3:
BARRIER WITHOUT CABLE RINGS
SILT FENCE, SUPER DUTY

SILT FENCE, SUPER DUTY



SILT FENCE, SUPER DUTY
CURB AND GUTTER PROTECTION SYSTEM

SILT FENCE, SUPER DUTY



SILT FENCE, SUPER DUTY
STOCKPILE SEDIMENT CONTROL

SILT FENCE, SUPER DUTY



SILT FENCE, SUPER DUTY
DITCH PROTECTION SYSTEM

DATE: 08/08
DESIGNED BY: J. J. JENSEN
CHECKED BY: J. J. JENSEN

NO.	BY	DATE

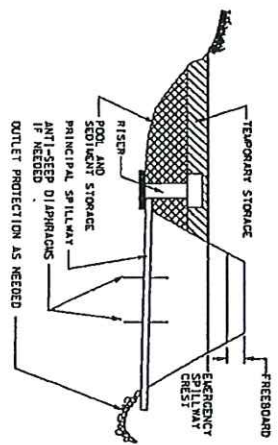
REVISIONS

PHONE: 320.223.4300
FAX: 320.223.4301
WWW: WWW.SENECAPRO.COM

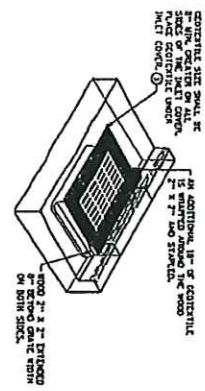
2007 AVON ESTATES
AVON, MINNESOTA

EROSION CONTROL DETAILS

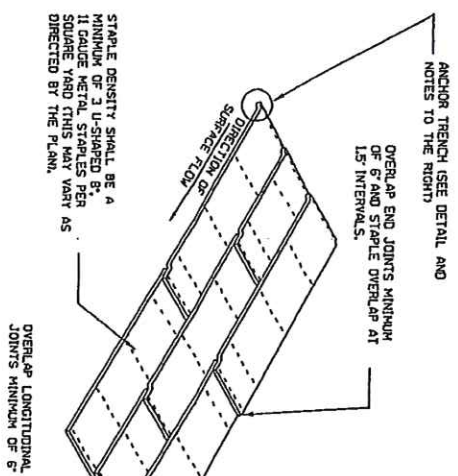
SHEET NO. 23
OF 23
151



SECTION
TEMPORARY SEDIMENT BASIN

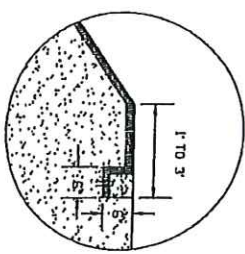


GEOTEXTILE FILTER AT INLET

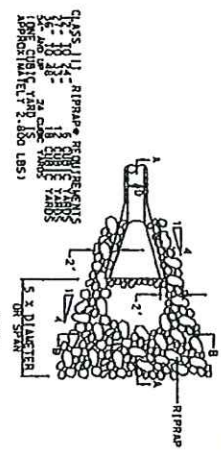


STAPLE DENSITY SHALL BE A MINIMUM OF 3 U-SHAPED STAPLES PER 1' SQUARE YARD THIS MAY VARY AS DIRECTED BY THE PLAN.

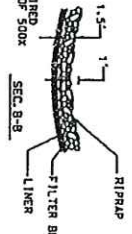
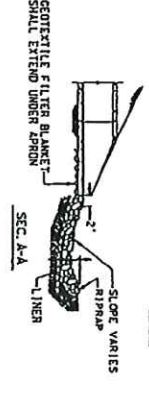
1. ANCHOR TRENCH
2. 1' x 3' TRENCH
3. LAY BLANKET IN TRENCH
4. STAPLE AT 15' INTERVALS
5. BACKFILL WITH NATURAL SOIL AND COMPACT
6. EXCESS LENGTH SHALL NOT EXCEED 10' WITHOUT AN ANCHOR TRENCH



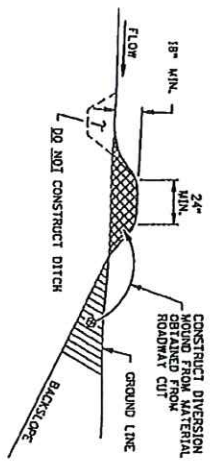
BLANKET INSTALLATION



CLASS III RIPRAP AT OUTLETS

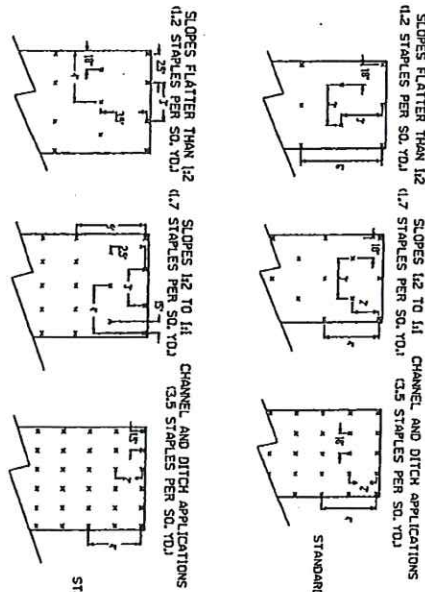


CLASS III RIPRAP AT OUTLETS



DESIGN GUIDELINES:
STORM FREQUENCY: 10 YEAR - 24 HOUR
MAXIMUM DRAINAGE AREA: 5 ACRES
MAXIMUM DIVERSION: GRADE 5%

DIVERSION MOUND



BLANKET STAPLING PATTERN

DATE:	REV. NO.	BY:	DATE:
DESIGNED BY:	REV. NO.	BY:	DATE:
CHECKED BY:	REV. NO.	BY:	DATE:
NO. OF SHEETS:	REV. NO.	BY:	DATE:
REVISIONS:			
PROJECT: 2007 AVON ESTATES AVON, MINNESOTA			
DRAWN BY: [Signature]			
CHECKED BY: [Signature]			
DATE: 07/27/07			
SCALE: AS SHOWN			
SHEET NO. 151			

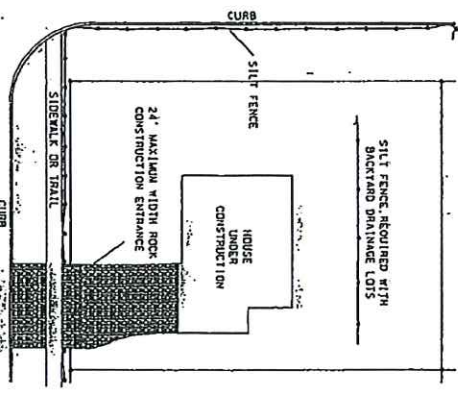
SEI CONSULTANTS, INC. 320-229-4300
1111 15th St. S. #200, Burnsville, MN 55302-1117

2007 AVON ESTATES
AVON, MINNESOTA

EROSION CONTROL DETAILS

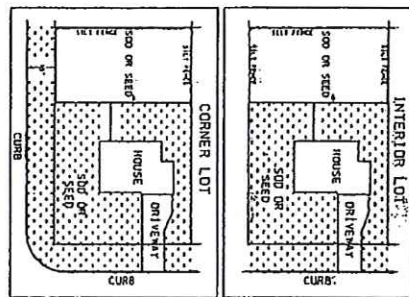
FILE NO. 24
AVON0701.00

151



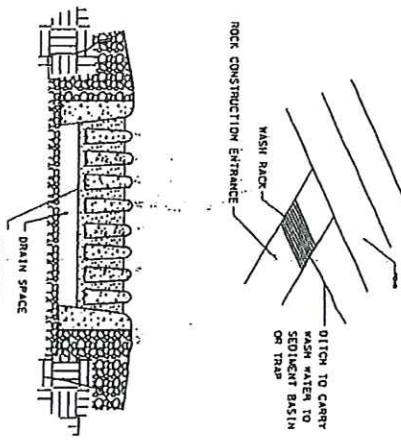
NOTE: SILT FENCE SHOWN AS A MINIMUM.

RESIDENTIAL CONSTRUCTION EROSION CONTROL STANDARDS

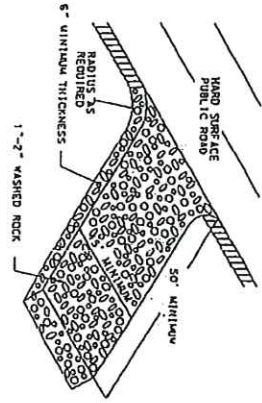


- NOTES:
1. INSTALL 6" OR BLACK DIRT UNDER ALL TURF AREAS.
 2. SOD REQUIRED ON SLOPES OF 4:1 OR STEEPER.
 3. PERMANENT UNDERGROUND IRRIGATION REQUIRED TO SEED.
 4. PERIMETER SILT FENCE REQUIRED FOR SEED.

RESIDENTIAL CONSTRUCTION TYPE ESTABLISHMENT REQUIREMENTS

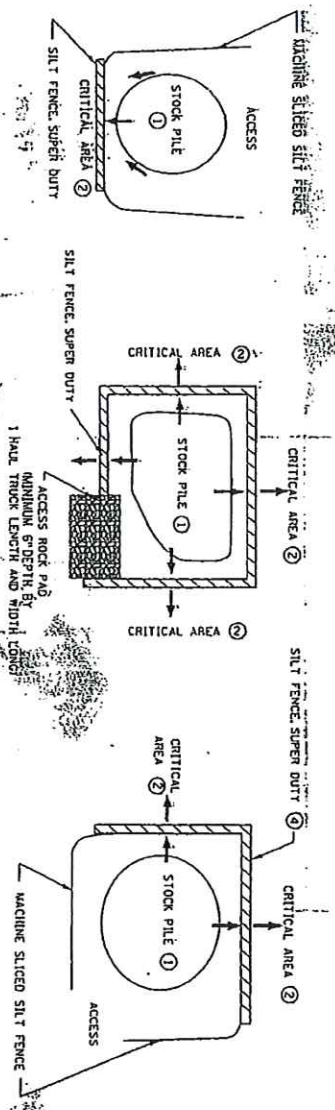


WASH RACK



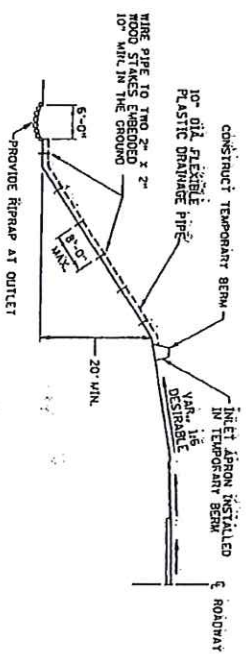
NOTE: TO PREVENT TRACKING OF MUD ONTO PAVED ROADS, INSTALL ADDITIONAL ROCK OR REMOVE AND REPLACE THE PAD AS REQUIRED.

ROCK CONSTRUCTION ENTRANCE



SILT FENCE, SUPER DUTY STOCK PILE CONTAINMENT

- NOTES:
1. SEE SPECIFICATIONS FOR SILT FENCE AND SUPER DUTY SILT FENCE IS TO BE USED AS SHOWN OR AS DIRECTED BY THE ENGINEER.
 2. CRITICAL AREAS INCLUDE WETLANDS, JUDICIAL DISTRICTS, STREAMS, WATER BODIES, AND OTHER AREAS REQUIRING PROTECTION.
 3. INSTALL TO FIT LAND FORM AND ITEM TO PROTECT.



TEMPORARY DOWN DRAIN ON FILL SLOPE

DESIGN GUIDELINES:
STORM FREQUENCY: 2 YEAR - 24 HOUR
MAXIMUM DRAINAGE AREA: 3 ACRES

DATE	BY	CHKD	APP'D
DESIGNED	DATE	DATE	DATE
CHECKED	DATE	DATE	DATE
NO. 87	DATE	DATE	DATE
REVISION	DATE	DATE	DATE

PHONE: 320-229-4300
1200 25TH AVE S
SEI
55115-0000, MN 65302-1117

2007 AVON ESTATES
AVON, MINNESOTA

EROSION CONTROL DETAILS

FILE NO. 25
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NO.	DATE	DESCRIPTION

DATE: 03/19/2020 UC NO. 44599
DESIGNER: RICHARDSON
R.L. Smith
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION AND EXHIBITS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

AVON ESTATES RE-PLAN
GRADING PLAN
AVON, MINNESOTA

GRADING PLAN

CG101



- LEGEND**
- CONSTRUCTION LIMITS
 - PROPOSED CONTOURS
 - EXISTING SPOT ELEVATION (MEET & MATCH EXISTING)
 - EXISTING WATER MAIN
 - EXISTING SANITARY SEWER PIPE
 - EXISTING STORM SEWER PIPE
 - EXISTING STORM SEWER STRUCTURES

- SITE GRADING NOTES**
- THE CONTRACTOR SHALL APPLY FOR A CITY OF AVON GRADING PERMIT BEFORE THE COMMENCEMENT OF CONSTRUCTION. THE PERMIT SHALL BE OBTAINED FROM THE CITY OF AVON DEPARTMENT OF PUBLIC WORKS. NO WORK MAY BEGIN UNTIL THE PERMIT HAS BEEN RECEIVED AND THE CONTRACTOR MUST COMPLY WITH THE TERMS OF THE PERMIT.
 - GRADING ACTIVITY WHICH BLOCKS TRAFFIC OF ANY STREET, ALLEY, OR DRIVE IS SUBJECT TO APPROVAL BY THE CITY.
 - IF NECESSARY, CONTRACTOR SHALL REQUEST OBTAIN ANY ADDITIONAL GRADING EASEMENTS FROM ADJACENT PROPERTY OWNER.
 - CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER AND OWNER IF CONTAMINANTS ARE FOUND IN THE EXISTING SOILS.
 - RELOCATE BENCHMARKS AS NECESSARY WITH NEW BENCHMARK LOCATIONS WITHIN A TOLERANCE OF 0.010 VERTICAL FEET.
 - THE PROPOSED GRADES SHOWN ON THE GRADING PLAN ARE FINISHED GRADES. SPOT ELEVATIONS ALONG CURB LINES REPRESENT THE FLOW LINE UNLESS OTHERWISE NOTED.
 - SPOT ELEVATIONS SHOWN AT CATCH BASINS ON THIS PLAN DO NOT REFLECT 2' CASTING JUMP AND ACTUAL RIM ELEVATIONS.
 - SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0% AND LONGITUDINAL SLOPES SHALL NOT EXCEED 5.0%.
 - PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
 - UNLESS OTHERWISE NOTED, FINISH GRADES SHALL BE SIX INCHES BELOW FINISHED FLOOR FINISH GRADE. CROSS SLOPES SHALL BE FIVE PERCENT FOR UNPAVED AREAS AND FIVE PERCENT FOR A MINIMUM DISTANCE OF TEN FEET IN UNPAVED AREAS.
 - IN AREAS WHERE NEW FILL IS TO BE PLACED ON SLOPING GROUND, BENCHMARKING THE SURFACE SHALL BE COMPLETED PRIOR TO PLACING THE FILL. BENCHMARKING SHALL BE COMPLETED WHERE SLOPES ARE STEEPER THAN 4:1 (HORIZONTAL:VERTICAL).
 - SLOPES GREATER THAN 4:1 ARE STABLE FROM LAND SLIDING AND SURFACE EROSION.
 - ALL NON-PAVED AREAS SHALL RECEIVE A FOUR-INCH (4") LAYER OF TOPSOIL. REFER TO EARTH MOVING SPECIFICATION 31.20.00 FOR DEFINITION OF TOPSOIL. REFER TO CG 10 FOR PONDING TO RECEIVE PERMANENT SEED, SOIL, TREES, & SHRUBS.
 - THE CONTRACTOR SHALL ADJUST TO GRADE ALL MANHOLE STRUCTURES AND APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE EXECUTION OF WORK UNDER THIS CONTRACT.

